



REQUEST FOR QUOTATIONS

FOR THE PROVISION OF:

Popkum Fire Hall addition civil engineering service.

RFQ TITLE: Popkum Fire Hall Addition – Civil Engineering Service

RFQ NUMBER: RFQ-26012

DATE ISSUED: May 1, 2026

CLOSING DATE: May 13, 2026

RFQ TITLE: Popkum Fire Hall Addition – Civil Engineering Service	
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1.0 INTRODUCTION

The Fraser Valley Regional District (FVRD) provides fire protection service throughout eight electoral areas including Electoral Area D, encompassing the Community of Popkum. As the community grows, so too do the needs of the fire hall located at 10570 Popkum Road, Rosedale, BC. The current, three-bay hall was renovated in the early 90's to provide office and training space and the 40 year old building now requires significant expansion to allow for both operations and administration.

The FVRD plans to build a 5,000 square foot, two-storey, fire hall addition that will accommodate a twin bay, main floor and upper training room finished with the necessary office space, facilities and furnishing. In addition to new construction, the project will also provide for renovation of the current building's adjoining space. Luteyn Architecture Ltd. was engaged in 2025 to provide architectural services and draft plans have been completed.

The FVRD is requesting qualified contractors with proven capacity, capabilities and experience in civil engineering construction design and consultation service, to provide a quotation on the form attached in Schedule B (the Quotation) in response to the following specifications.

2.0 SCOPE OF WORK

The civil engineering design and consultation services are framed on the project's following key attributes:

- Addition of new, two-storey structure south of existing building;
- interior renovations to existing building;
- redevelopment of entire site as per site plan including new parking areas and pull outs;
- other details shown in Architectural Plans included in Schedule A below; and
- Luteyn Architecture Ltd. will act as the project's Coordinating Registered Professional.

In addition to that above, the Scope of Work includes provision for the following:

- Review of schematic design and all existing services associated with site;
- assessment of MoTT (highways) interface including that of Highway 1, Yale Road East and Popkum Road North;
- review of site grading, site storm drainage and water;

- review of offsite roadworks and services including those located immediately north and west of the site as well as the offsite gravel parking area included on Sheet A.1.0 in Schedule A;
- review of relevant shop drawings, change orders, site reports and commissioning documents;
- coordination for other underground and above ground services coming into site;
- participation in a minimum of two design meetings prior to Building Permit application submission;
- signed and sealed drawings along with BCBC Schedule B;
- onsite field inspections to complete the project; and
- submission of BCBC Schedule C-B upon project completion.

Note – The Scope of Work does not include septic system design. All work will be completed prior to August 31, 2026.

3.0 SITE VIEWING

Proponents are welcome to visit the building site. However, the fire hall's interior is not accessible for viewing. Individuals who choose to observe the site are requested to park at the side of the building and not in front of the bay doors.

4.0 SUBMISSION

One completed copy of the Quotation marked Popkum Fire Hall Addition – Civil Engineering Service, RFQ-26012 should be delivered by hand, regular mail, courier or email before 1:00 pm on May 13, 2026 to:

Fraser Valley Regional District
Attn: Deanne Bozek, Protective Services Specialist
1 - 45950 Cheam Avenue
Chilliwack, BC, V2P 1N6
Email: fireservices@fvrd.ca

An electronic version is preferred (such as a PDF or Word file) either by email or delivered on a USB flash drive. Hard copies will also be accepted in person, through regular mail or by courier. Quotations received after the time specified above will not be considered. The FVRD reserves the right to cancel this RFQ for any reason whatsoever without any liability to any party for any claims of any kind whatsoever. All Quotations will remain confidential, subject to the statutory requirements for disclosure set out under the *Freedom of Information and Protection of Privacy Act*.

5.0 INQUIRIES AND ADDENDA

All inquiries regarding this RFQ should be directed to:

Dave Driediger, Manager of Regional Facilities

Telephone: 604-702-5095

Email: ddriediger@fvr.ca

Any enquiries that are received by the FVRD and that affect this RFQ will be issued as addendum to all contractors that received the original RFQ. By delivery of a Quotation, the Contractor is deemed to have received, accepted and understood the entire RFQ including any addenda. Any information regarding this RFQ obtained by a party from any source other than from the FVRD by way of addenda is not authorized and should not be relied upon.

6.0 NO CONTRACT

This RFQ is simply an invitation for quotations for the convenience of all parties and should not be construed as an intention by the FVRD to enter into contractual relations with any party submitting a Quotation. The FVRD will provide written notice of acceptance of a Quotation in the event that the FVRD seeks to acquire the Services and formalize a contract for that purpose. The FVRD may negotiate changes to any term of a Quotation for the purposes of finalizing a contract.

7.0 LIMITATION OF LIABILITY

By submitting a Quotation, each contractor irrevocably agrees that the FVRD shall not be liable to any contractor, proponent or any person whatsoever, for any claim of any nature (in contract, in tort, or otherwise), for any costs, expenses, compensation, damages, or anything whatsoever, including without limitation, costs and expenses associated with the Contractor's preparation and submission of their Quotation, their participation in this RFQ, for loss of revenue, opportunity or anticipated profit, arising in connection with their Quotation, this RFQ, any subsequent processes or opportunity, any contract, or any matter whatsoever.

8.0 CONFLICT OF INTEREST

Contractors shall disclose any potential conflict of interest and existing business relationship they may have with the FVRD, its elected or appointed officials or employees.

9.0 NO LOBBYING

Contractors and their agents are not permitted to contact any member of the FVRD Board of Directors or staff with respect to this RFQ, except as expressly provided for herein. Contractors will not offer entertainment, gifts, gratuities, discounts, or special services, regardless of value, to any employee or elected official of the FVRD. The FVRD reserves the right to disqualify any contractor from participation in this RFQ that acts in contravention of this requirement.

10.0 EVALUATION

The evaluation of Quotations received in response to this RFQ will be completed in accordance with the FVRD Purchasing and Procurement Policy.

Schedule A
*Architectural Plans



TITLE:	
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PROJECT REVISIONS (BY DATE):	
1. REVISED TO SHOW ADDITIONAL WORK	
2. REVISED TO SHOW ADDITIONAL WORK	
3. REVISED TO SHOW ADDITIONAL WORK	
4. REVISED TO SHOW ADDITIONAL WORK	
5. REVISED TO SHOW ADDITIONAL WORK	

PROJECT'S DRAWING TITLE:	POPKUM FIRE DEPARTMENT PLANS 10570 POPKUM RD N, ROSEDALE, BC COVER SHEET		
DATE: FEB. 2020	SCALE: 1/4" = 1'-0"	PROJECT NO.: FT2020	DESIGNER: [Name]



CONSTRUCTIONS TYPES														
TYPE	PLAN	DESCRIPTION	FRR	STC	TYPE	PLAN	DESCRIPTION	FRR	STC	TYPE	PLAN	DESCRIPTION	FRR	STC
1		POUR IN CONCRETE BLOCK WALL EXTERIOR CONCRETE BLOCK WALL FINISH ALL INTERIOR WALLS PAINT ALL EXTERIOR WALLS			1		24" WOOD FRAME WALL PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD			1		EXISTING SLOPED ROOF - NOT INSULATED REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
2		POUR IN CONCRETE BLOCK WALL WITH NEW GABLE ROOF PAINT ALL INTERIOR WALLS PAINT ALL EXTERIOR WALLS			2		24" WOOD FRAME WALL PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD			2		EXISTING GABLE ROOF REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
3		POUR IN CONCRETE BLOCK WALL & EXTERIOR WOOD SIDING PAINT ALL INTERIOR WALLS PAINT ALL EXTERIOR WALLS			3		2.5" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD			3		PLYWOOD SLOPE ROOF REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
4		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			4		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD			4		LOW SLOPE ROOF WITH INSULATION REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
5		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			5		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD EXTERIOR FINISH			5		LOW SLOPE ROOF WITH INSULATION & SHEATHING REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
6		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			6		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD EXTERIOR FINISH & SHEATHING			6		LOW SLOPE ROOF WITH INSULATION, SHEATHING & PROTECTION BOARD REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
7		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			7		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD EXTERIOR FINISH, SHEATHING & PROTECTION BOARD			7		LOW SLOPE ROOF WITH INSULATION, SHEATHING, PROTECTION BOARD & MEMBRANE REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
8		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			8		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD EXTERIOR FINISH, SHEATHING, PROTECTION BOARD & MEMBRANE			8		LOW SLOPE ROOF WITH INSULATION, SHEATHING, PROTECTION BOARD, MEMBRANE & VAPOR BARRIER REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
9		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			9		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD EXTERIOR FINISH, SHEATHING, PROTECTION BOARD, MEMBRANE & VAPOR BARRIER			9		LOW SLOPE ROOF WITH INSULATION, SHEATHING, PROTECTION BOARD, MEMBRANE, VAPOR BARRIER & WATERPROOFING REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
10		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			10		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD EXTERIOR FINISH, SHEATHING, PROTECTION BOARD, MEMBRANE, VAPOR BARRIER & WATERPROOFING			10		LOW SLOPE ROOF WITH INSULATION, SHEATHING, PROTECTION BOARD, MEMBRANE, VAPOR BARRIER, WATERPROOFING & METAL DECK REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		
11		EXTERIOR CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL CONCRETE FOUNDATION WALL			11		6" STEEL STUD PARTITION 1" FLOOR JOIST INSULATION 2" MIN. (SEE 1.10) (SEE 1.10) (SEE 1.10) (SEE 1.10) 1" 1/2" GYPSUM BOARD EXTERIOR FINISH, SHEATHING, PROTECTION BOARD, MEMBRANE, VAPOR BARRIER, WATERPROOFING & METAL DECK			11		LOW SLOPE ROOF WITH INSULATION, SHEATHING, PROTECTION BOARD, MEMBRANE, VAPOR BARRIER, WATERPROOFING, METAL DECK & METAL DECK REMOVE EXISTING ROOF FELTS, INSULATION, UNDER LAYMENT REMOVE EXISTING 2" FIBERGLASS INSULATION NEW 2" ROOF MEMBRANE ON EXISTING TRUSSES AS PER SECTION AND ROOF PLAN EXHIBIT A (WOOD JOIST EXTENDING TO EXTERIOR) EXISTING ROOF TRUSSES 1.300 VENTILATION		

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PROJECT :
POPKUM Fire Hall
10570 Popkum Rd.
Poulsbo, British Columbia



DATE: 08/21/2025

PROJECT REVISIONS	DATE
1. INITIAL DESIGN	08/21/2025
2. REVISED DESIGN	08/21/2025
3. REVISED DESIGN	08/21/2025
4. REVISED DESIGN	08/21/2025
5. REVISED DESIGN	08/21/2025

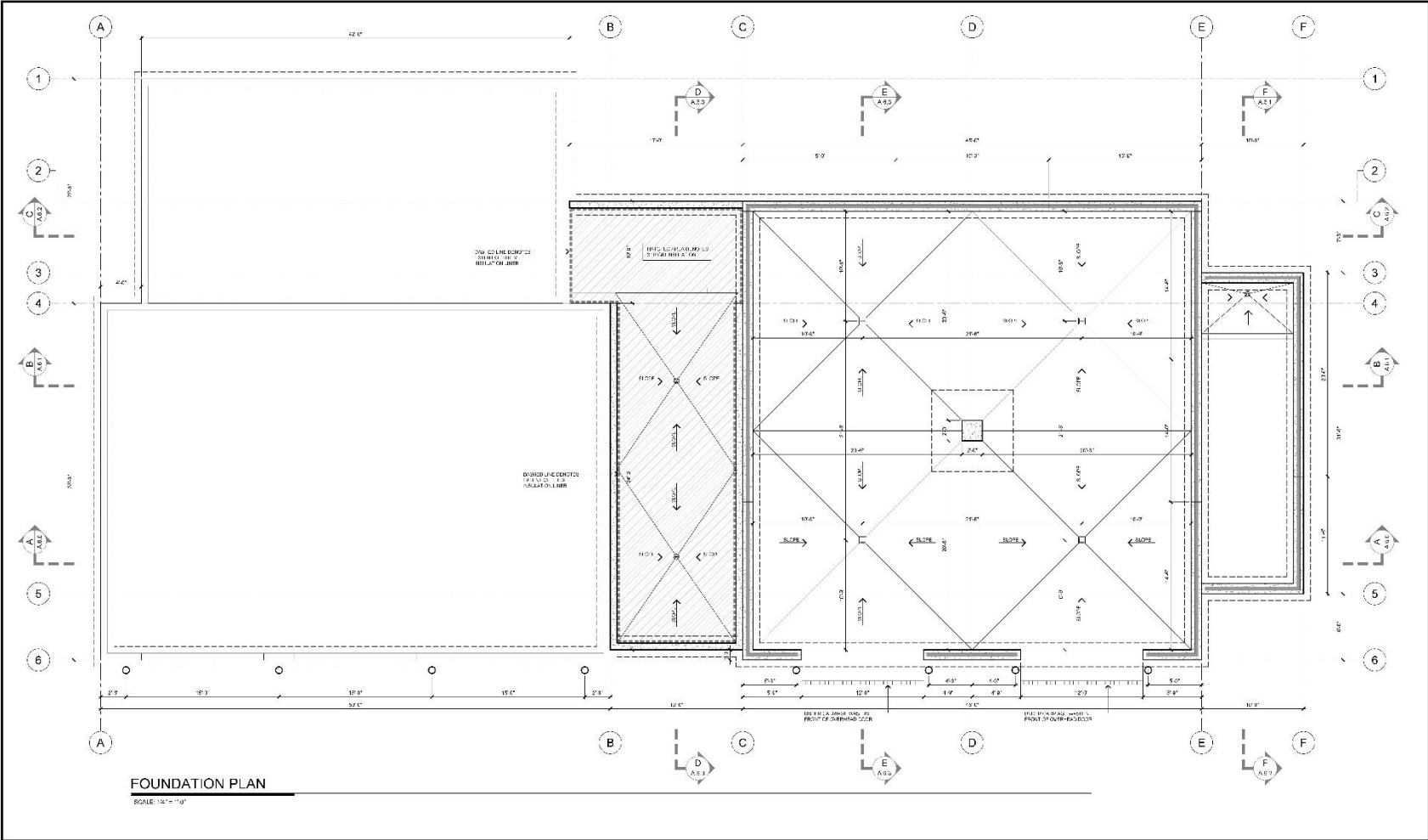
PROJECT REVISIONS	DATE
1. INITIAL DESIGN	08/21/2025
2. REVISED DESIGN	08/21/2025
3. REVISED DESIGN	08/21/2025
4. REVISED DESIGN	08/21/2025
5. REVISED DESIGN	08/21/2025

PROJECT & DRAWING TITLE:
**POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
CONSTRUCTION TAGS**

DATE: FEB. 2025 DRAWN: NVR CHECKED: PTD/MS

SCALE: 1/8" = 1'-0" SHEET: 1 OF 1





ARCHITECT :

1100 - 1000 AVENUE 200
 VANCOUVER, BC V6Z 2G4
 TEL: 604-273-2222
 WWW.LUTEYNTARCHITECTURE.COM

OWNER :

Fraser Valley Regional District
 4000 BRIDGEWAY, SUITE 100
 FRASER VALLEY, BC V4N 1A8
 TEL: 604-273-2222
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PROJECT :

POPKUM Fire Hall
 10570 Popkum Rd.
 Popkum, British Columbia

Sheet

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PROJECT REVISIONS

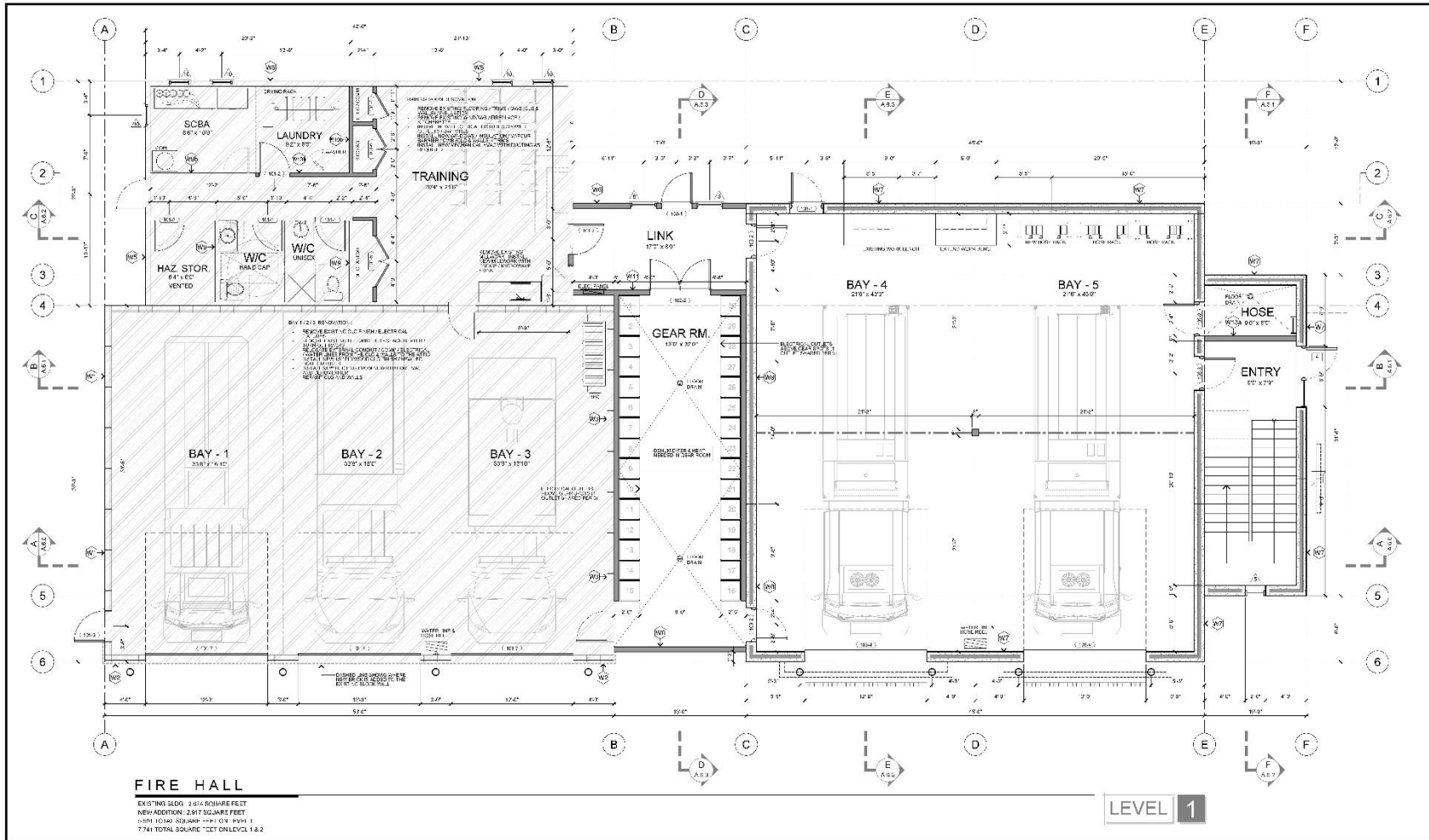
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	SEPTEMBER 2023
2	FOR CONSTRUCTION AND PERMITTING	NOVEMBER 2023
3	FOR CONSTRUCTION AND PERMITTING	NOVEMBER 2023

PROJECT & DRAWING TITLE :

**POPKUM FIRE DEPARTMENT PLANS
 10570 POPKUM RD N, ROSEDALE, BC
 FOUNDATION PLAN**

DATE: FEB. 2025 NORTH: 1/4"=1' 0" 11x17" PTD45





ARCHITECT :

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OWNER :

 Fraser Valley Regional District
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 TEL: 604.273.2111
 WWW.FRASERVADISTRICT.CA

PROJECT :

POPKUM Fire Hall
 10570 Popkum Rd.
 Popkum, British Columbia

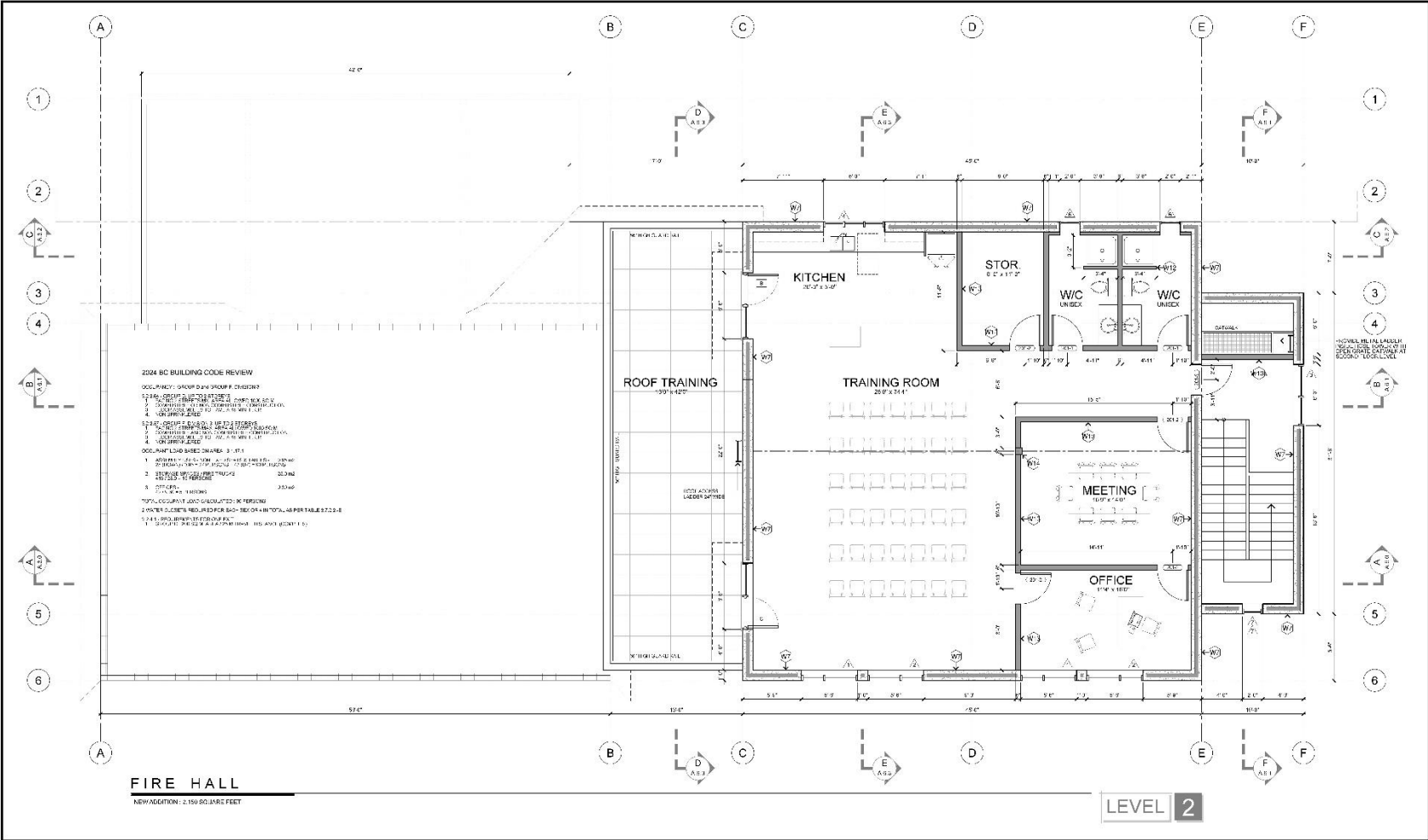
DATE :
 01/14/2025

PROJECT REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITTING
2	FOR CONSTRUCTION
3	FOR CONSTRUCTION

PROJECT & DRAWING TITLE:
POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
FLOOR PLAN - LEVEL 1

DATE: FEB. 2025 NORTH: 1/4"=1' 0" 11-1/2" X 16" PTD450





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PROJECT: **POPKUM Fire Hall**
 10570 Popkum Rd.
 POPKUM, BRITISH COLUMBIA

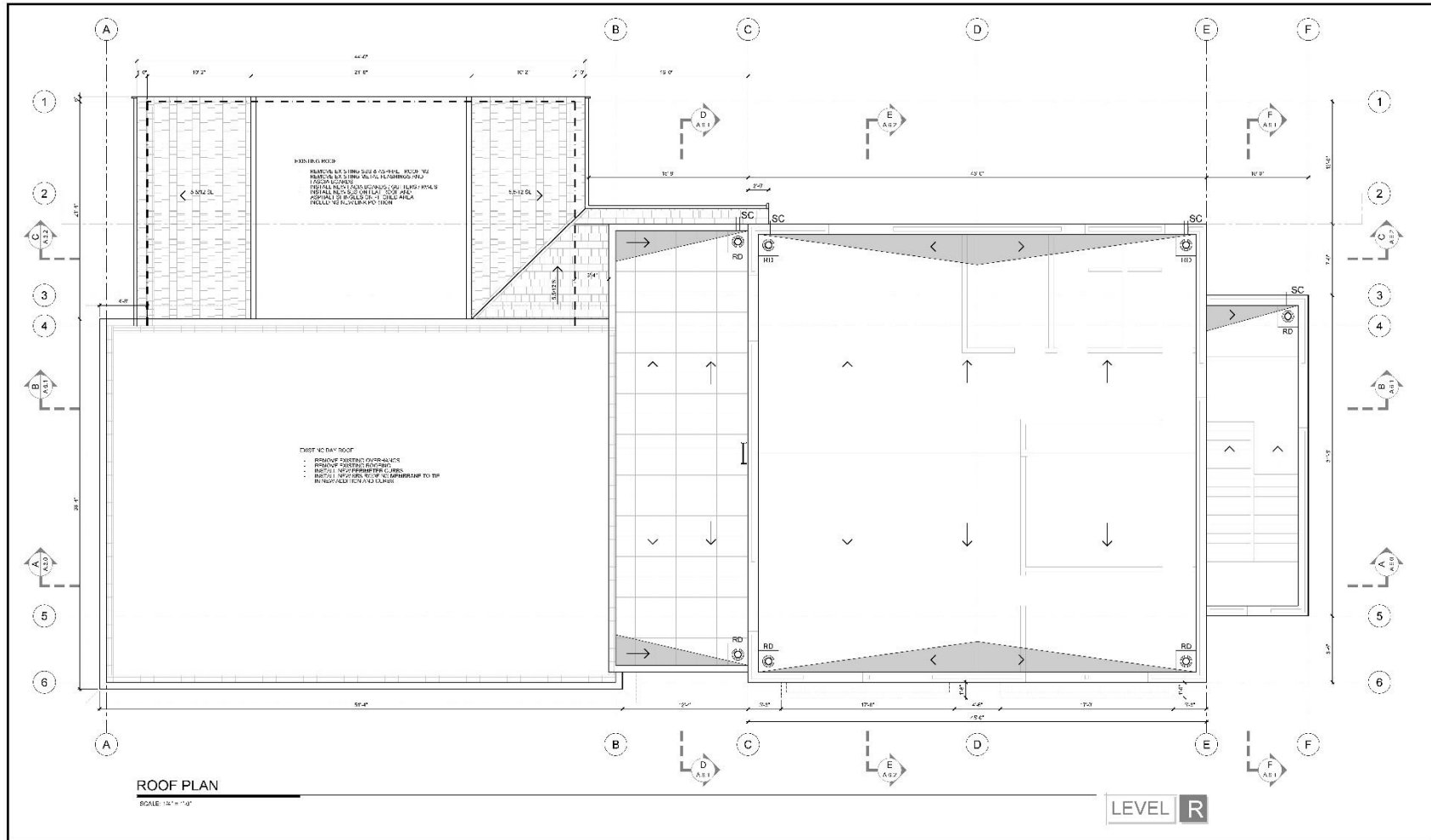
DATE: 11/14/2025

PROJECT REVISIONS/DATES	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	FOR COMMENTS
3	FOR COMMENTS
4	FOR COMMENTS
5	FOR COMMENTS

PROJECT & DRAWING TITLE:
**POPKUM FIRE DEPARTMENT PLANS
 10570 POPKUM RD N, ROSEDALE, BC
 FLOOR PLAN - LEVEL 2**

DATE: FEB. 2025 NORTH: 1/4"=1' 0" 11/14/2025 PTD/AS





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PROJECT :

POPKUM Fire Hall
 10570 Popkum Rd.
 Popkum, British Columbia

DATE :

1/14/2025

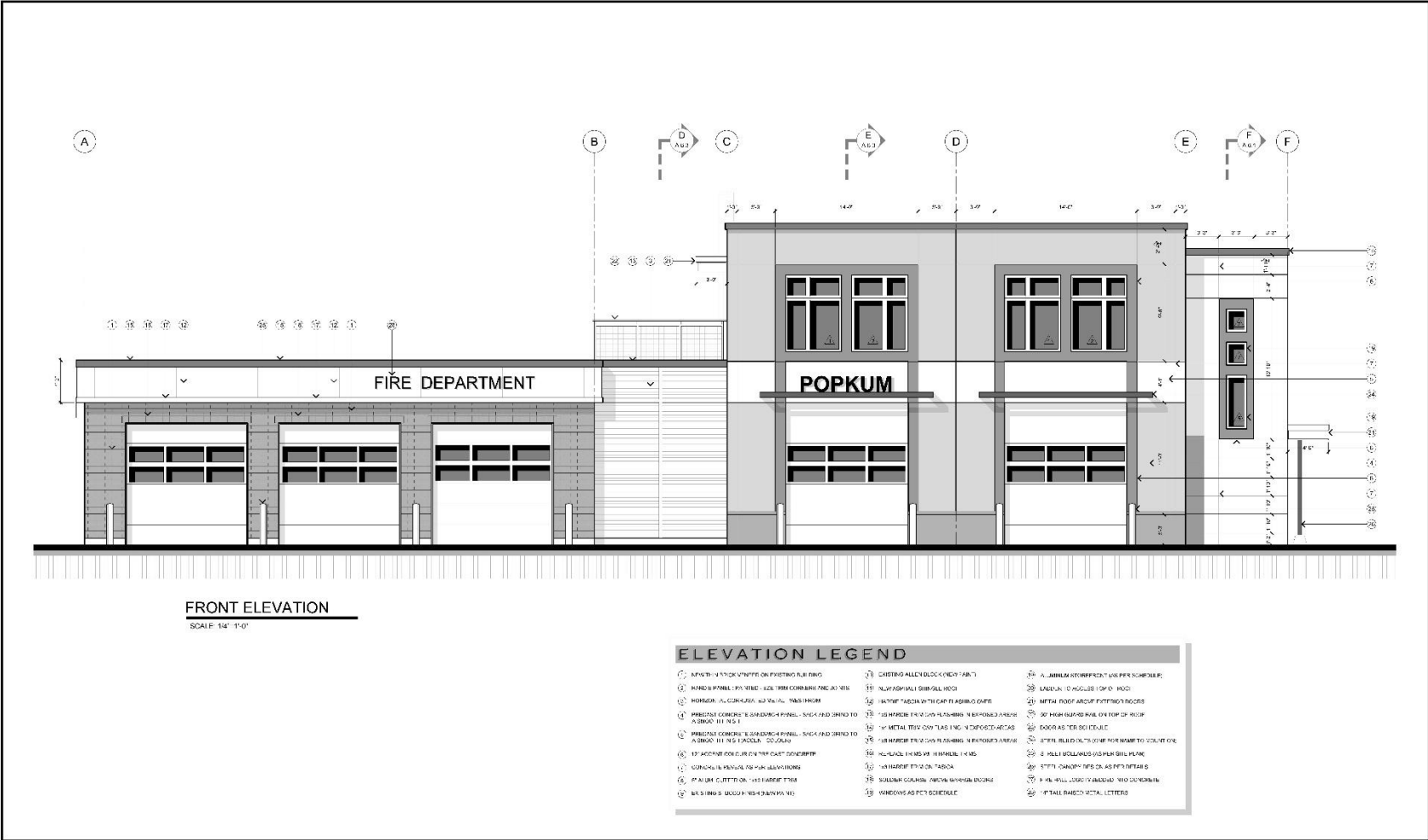
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	1/14/2025
2	ISSUED FOR PERMIT	1/14/2025
3	ISSUED FOR PERMIT	1/14/2025
4	ISSUED FOR PERMIT	1/14/2025
5	ISSUED FOR PERMIT	1/14/2025
6	ISSUED FOR PERMIT	1/14/2025

PROJECT & DRAWING TITLE :

POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
ROOF PLAN

DATE: FTR, 2025 NORTH: 1/4" = 1' 0" 11/14/2025 FTR/MS

POPKUM FIRE & RESCUE
A.2.3



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

① ASPHALT FINISH ON EXTERIOR SURFINGS	⑩ CRISTING ALLEY BLOCK (NEW) (A87)	⑳ ALUMINUM STOREFRONT (SEE PER NUMBER)
② BRICK & PAVING FINISH - SEE PER COMMENTS AND A01010	⑪ ALUMINUM BRICKS	㉑ LINENAL (1) (INCLUDE TOP OF FINISH)
③ HORIZONTAL CORRUGATED GALVANIZED STEEL PANELING	⑫ METAL FLASHING AT TOP OF GARAGE DOORS	㉒ METAL ROOF FLASHING FINISHED FINISHES
④ PRECAST CONCRETE BRICKWORK PANEL - SEE A01010 AND TO A3000 (1) (1) (1)	⑬ USE WHERE FINISHES MEETING VERTICAL FINISHES	㉓ 2" HIGH GUTTER ON TOP OF ROOF
⑤ PRECAST CONCRETE BRICKWORK PANEL - SEE A01010 AND TO A3000 (1) (1) (1) (1)	⑭ METAL FLASHING AT TOP OF ROOF	㉔ FLASHING TO BE SCHEDULE
⑥ PRECAST CONCRETE BRICKWORK PANEL - SEE A01010 AND TO A3000 (1) (1) (1) (1) (1)	⑮ USE WHERE FINISHES MEETING VERTICAL FINISHES	㉕ STEEL FLASHING TO BE USED TO COLLECT ONE
⑦ 1/2" JOINTS FOR CONCRETE ON THE EAST SIDE	⑯ ALUMINUM FLASHING AT TOP OF ROOF	㉖ 4" WALL COLLARS FOR FLASHING
⑧ CORRUGATED GALVANIZED STEEL PANELING	⑰ FLASHING TO BE ON TABCO	㉗ STEEL FLASHING TO BE USED AS PER DETAILS
⑨ PLASTER FINISH ON THE EAST SIDE	⑱ BUILDING CORNER FLASHING FINISHES	㉘ 4" WALL CORNER FLASHING TO BE USED AS PER DETAILS
	⑳ WINDOWS AS PER SCHEDULE	㉙ 4" WALL CORNER FLASHING TO BE USED AS PER DETAILS

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PROJECT: **POPKUM Fire Hall**
 10570 Popkum Rd.
 Popkum, British Columbia



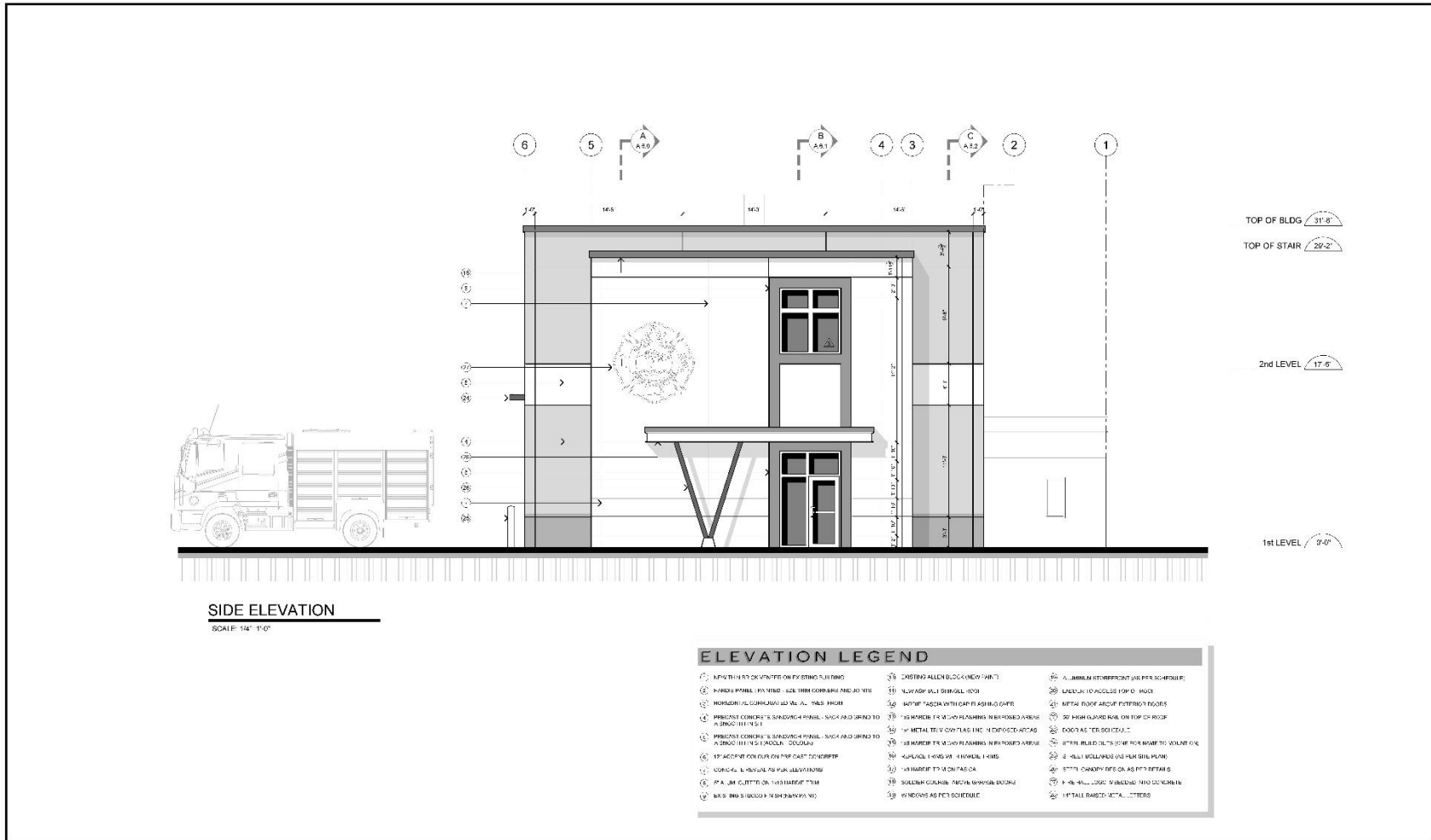
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PROJECT REVISIONS		DATE
1	ISSUED FOR PERMIT	NOVEMBER 2023
2	FOR CONSTRUCTION	NOVEMBER 2023
3	FOR CONSTRUCTION	NOVEMBER 2023

PROJECT & DRAWING TITLE:
POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
EXTERIOR ELEVATIONS

DATE: FEB. 2025 DRAWN: 1/4/24 CHECKED: PTD/MS





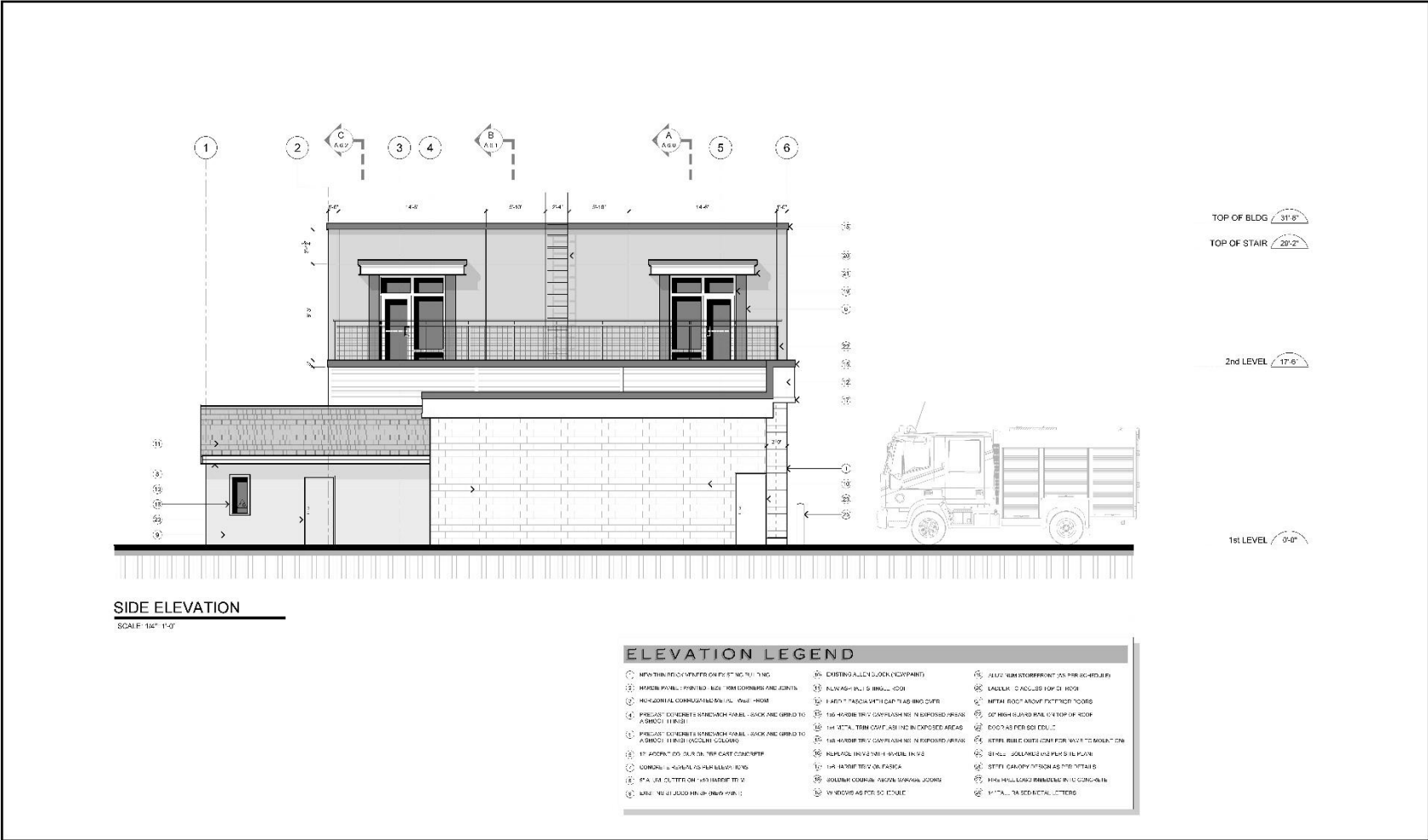
PROJECT REVISIONS	
NO.	DESCRIPTION

PROJECT & DRAWING TITLE:
POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
EXTERIOR ELEVATIONS

DATE: FEB. 2025 SCALE: 1/4" = 1'-0" DRAWN: PTD/AS

PROJECT: 10570 POPKUM RD N, ROSEDALE, BC
 DRAWN BY: PTD/AS
 CHECKED BY: PTD/AS





ARCHITECT: **LUTEYNT ARCHITECTURE LTD**

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OWNER: **Fraser Valley Regional District**

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TEL: 604-273-2222
WWW.FVRD.BC.CA

PROJECT: **POPKUM Fire Hall**

10570 Popkum Rd.
POPKUM, BRITISH COLUMBIA



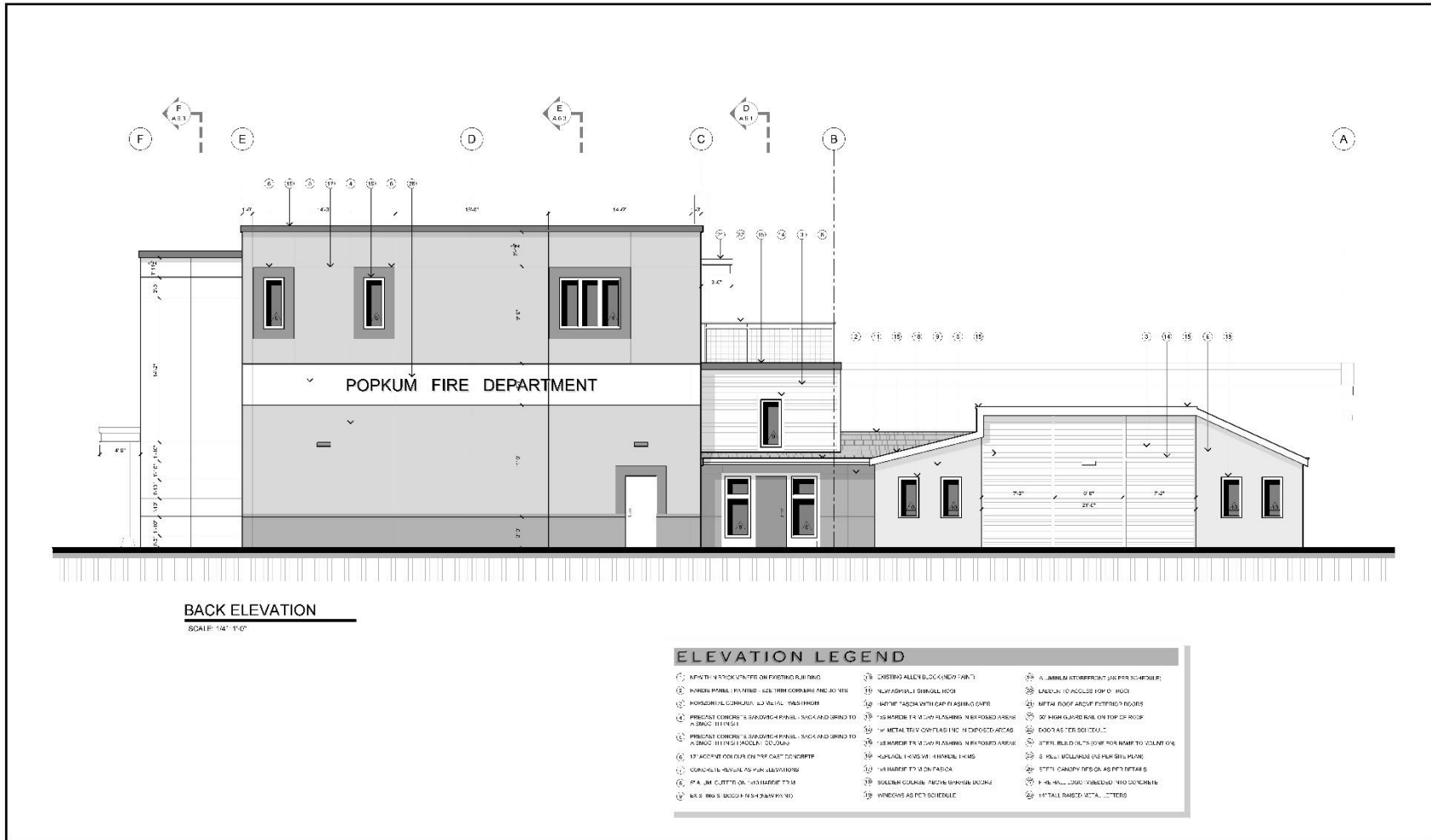
PROJECT REVISIONS	
NO.	DESCRIPTION

PROJECT & DRAWING TITLE: **POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
EXTERIOR ELEVATIONS**

DATE: FEB. 2020 DRAWN: 1/4/21/07 FILE NO.: PFD45

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OWNER: **Fraser Valley Regional District**
 10000 100th Ave. S.E.
 Surrey, BC V3V 2K2
 TEL: 604.273.1111
 WWW.FRASERVLDIST.COM

PROJECT: **POPKUM Fire Hall**
 10570 Popkum Rd.
 Popkum, British Columbia



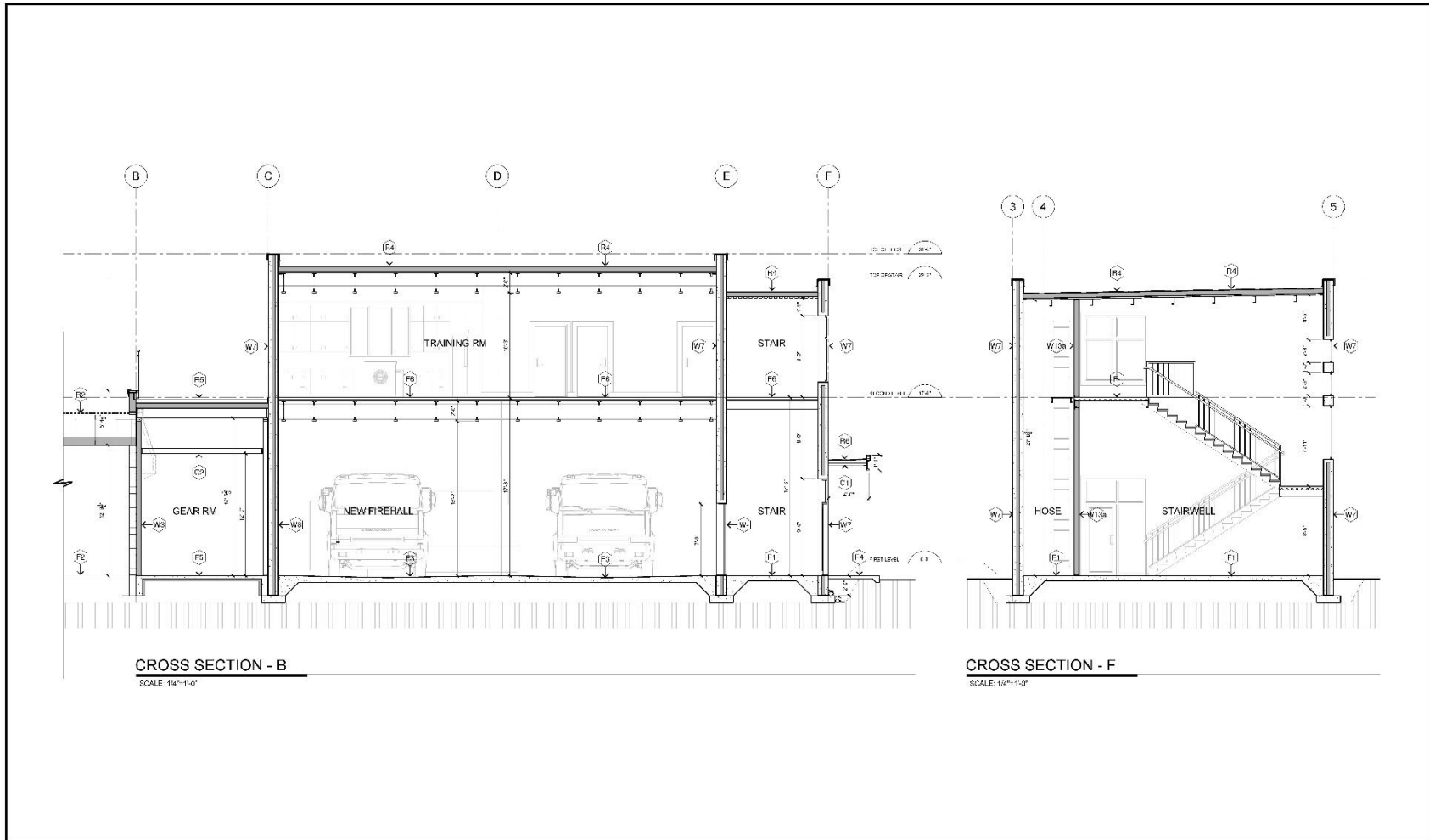
DATE: _____

PROJECT REVISIONS	
NO.	DESCRIPTION

PROJECT & DRAWING TITLE:
POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
EXTERIOR ELEVATIONS

DATE: FEB. 2025 DRAWN: 1/4/25 CHECKED: PTD/MS





ARCHITECT :

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Fraser Valley Regional District
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SURREY, BC V3R 4K1
Tel: 604.591.1100 Fax: 604.591.1101
www.fvrd.ca

PROJECT :

POPKUM Fire Hall
10570 Popkum Rd.
Popkum, British Columbia

DATE

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PROJECT REVISIONS

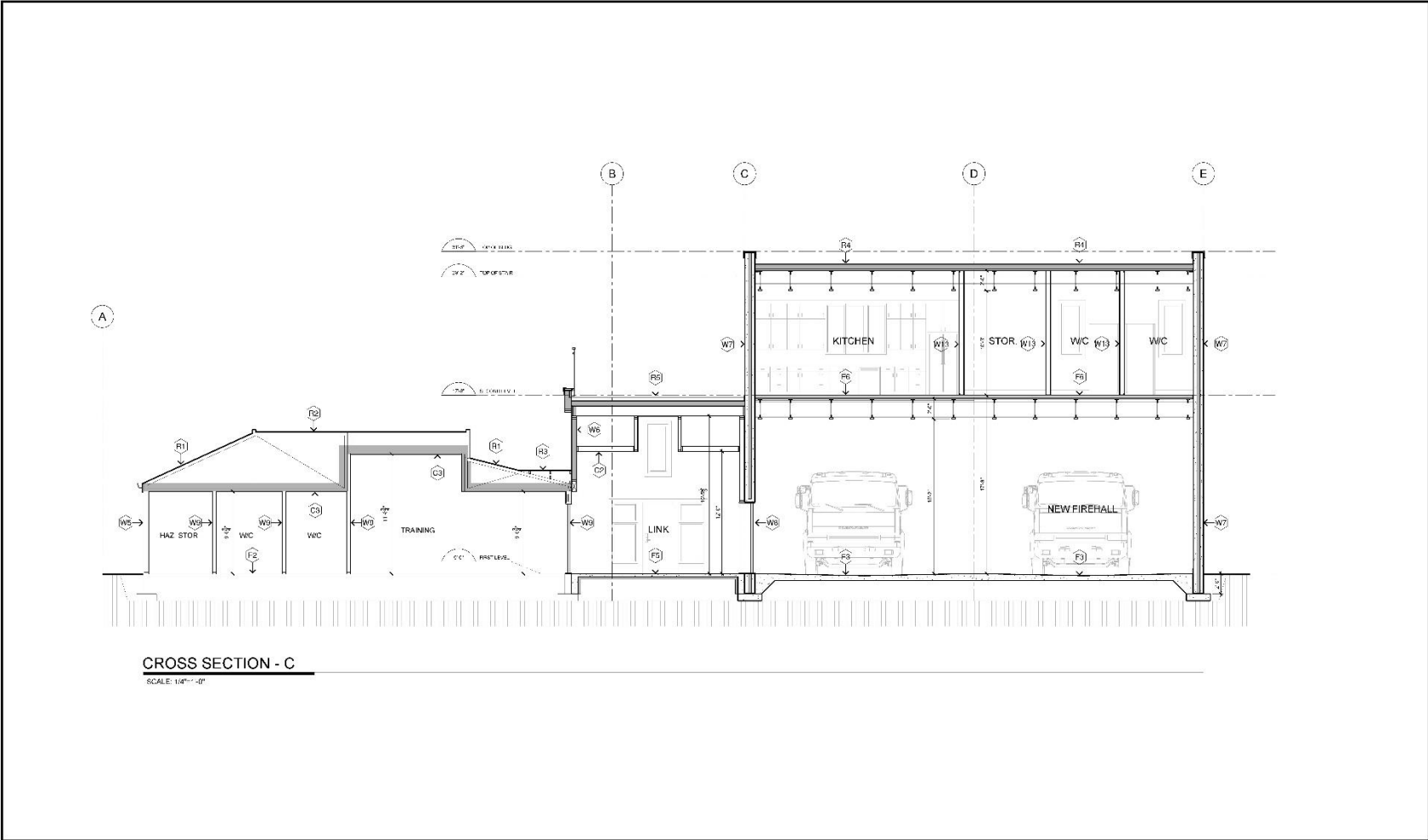
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	
2	FOR PRELIMINARY ENGINEERING	
3	FOR PRELIMINARY ENGINEERING	

PROJECT & DRAWING TITLE :

POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
CROSS SECTION - B & F

DATE: FTS 2026 NO: 147-11-07 11-11-14 PTD:AS





CROSS SECTION - C
SCALE: 1/8"=1'-0"

ARCHITECT :

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Burnaby, BC V3J 1K7
Tel: 604.293.2222
www.luteynt.com

OWNER :

Fraser Valley Regional District
4500 202nd Street, Suite 100
Richmond, BC V6V 2G6
www.fvrd.ca

PROJECT :

POPKUM Fire Hall

10570 Popkum Rd.
Popkum, British Columbia

Sheet

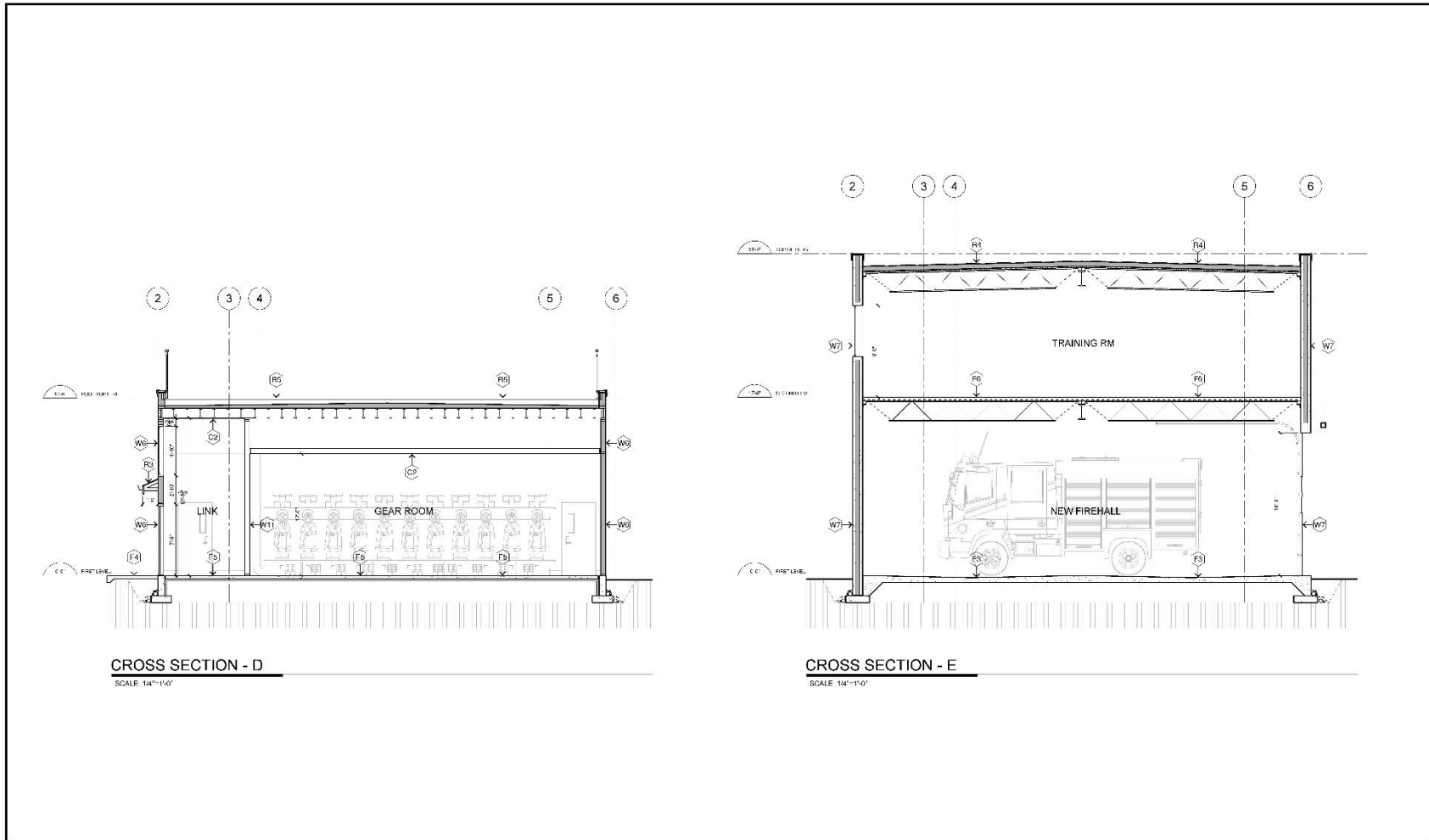
PROJECT REVISIONS	
NO.	DESCRIPTION

PROJECT & DRAWING TITLE :

**POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
CROSS SECTION - C**

DATE: FEB. 2025 SCALE: 1/8"=1'-0" DRAWN: PTD/KS





ARCHITECT :

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TEL: 604-273-2222
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OWNER :

Fraser Valley Regional District
1000 BURNHAMTHORPE BLVD
VANCOUVER BC V6C 3R8
WWW.FRASERVLD.COM

PROJECT :

POPKUM Fire Hall

10570 Popkum Rd.
Popkum, British Columbia

Sheet

PROJECT REVISIONS	
NO.	DESCRIPTION

PROJECT & DRAWING TITLE :

**POPKUM FIRE DEPARTMENT PLANS
10570 POPKUM RD N, ROSEDALE, BC
CROSS SECTION - D & E**

DATE: FTR 2025 DRAWN: 1/4"=1'-0" FILE NO: FTR455

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Schedule B

Quotation

 <p>Fraser Valley Regional District</p>	RFQ NUMBER: _____ RFQ TITLE: _____
---	---------------------------------------

Legal Name: _____

Address: _____

Name and title of Representative: _____

Telephone: _____ Email: _____

Form of Business Organization

- Sole Proprietorship
- Partnership Date of Establishment _____
- Corporation Date of Incorporation _____ Business No. _____

I/We hereby offer to provide to the Fraser Valley Regional District the Services for the prices plus applicable taxes:

Item #	Item Name	Estimated Quantity	Unit of Measure	Unit Price	Total Amount
1.	Schematic review				
2.	Design meetings				
3.	Design				
4.	Schedules/reports				
7.	Other				
8.	Other				
CURRENCY: Canadian				Subtotal:	\$
				GST (5%)	\$
				PST (7%)	\$
				TOTAL:	\$

Additional Fees and Disbursements

- 1. Printing \$ _____
- 2. Additional Meeting \$ _____
- 3. Travel \$ _____
- 4. _____ \$ _____
- 5. _____ \$ _____

If this offer is accepted by the FVRD, then such offer and acceptance will create a contract as described in the RFQ, this Quotation and other terms, if any, that are agreed to in writing by the parties.

I/We the undersigned authorized representatives of the Contractor, having received and carefully reviewed the RFQ, including without limitation the Specifications and General Terms and Conditions, submit this Quotation in response to the RFQ.

This Quotation is offered by the Contractor this ___ day of _____, 2026.

CONTRACTOR

I/We have authority to bind the Contractor

Legal Name of Contractor

Signature of Authorized Signatory

Signature of Authorized Signatory

Name & Title/Position:

Name & Title/Position: